

GENERAL NOTES:

THIS PERMIT IS ISSUED SUBJECT TO
COMPLIANCE WITH
THE BUILDING REGULATIONS

GENERAL

- ALL BUILDINGS AND WORKS TO BE IN ACCORDANCE WITH THE BUILDING ACT 1993, BUILDING REGULATIONS 2018, BUILDING CODE OF AUSTRALIA 2019 (BCA) AND ALL BCA ADOPTED AUSTRALIAN STANDARDS.
- BUILDING/S ON ALLOTMENTS WITHIN THE DESIGNATED FLOOD RISK AREA TO BE CONSTRUCTED IN ACCORDANCE WITH AS 3959 FOR THE APPROPRIATE BAL LEVEL CALCULATED FOR THE SITE.
- THE FFL TO AHD OF A DWELLING IS TO BE CONFIRMED BY A LICENSED LAND SURVEYOR PRIOR TO THE FRAME INSPECTION FOR ALLOTMENTS DESIGNATED LAND LIABLE TO FLOOD &/OR DESIGNATED LAND - OVERLAND FLOW.
- BUILDINGS MUST COMPLY WITH CLAUSE 3.10.3 BCA AND ABOVE FLOOD HAZARD MANAGEMENT STANDARD WHEN A SITE IS DESIGNATED AS LAND LIABLE TO FLOOD.
- PERFORMANCE SOLUTIONS PURSUANT TO PART 2 BCA APPLY WITH THE CONSTRUCTION OF THIS BUILDING AS AN ALTERNATIVE TO THE DEEMED TO SATISFY REQUIREMENTS OF PART 2 BCA.
- DOORWAYS TO SANITARY COMPARTMENTS WHERE THE DOOR IS WITHIN 1200MM OF THE PAN MUST BE FITTED WITH LIFT OFF HINGES.
- ANTI-PONDING DEVICE/BOARDS TO BE INSTALLED PURSUANT TO CLAUSE 3.5.2.5, BCA.\
- EXTERNAL FIRE RESISTING WALLS TO TERMINATE NOT MORE THAN 200mm FROM UNDERSIDE OF ROOF COVERING PURSUANT TO CLAUSE 3.7.2.4 (a)(ii), BCA
- EXPPOSED STEEL TO BE CORRISION RESISTANT IN ACCORDANCE WITH PARTS 3.3, 3.4 & 3.5, BCA 2019

SITE WORKS/SITING

- BUILDINGS AND ALL SITE WORKS TO CONSTRUCTED AND MAINTAINED WITHIN THE TITLE BOUNDARIES.
- EARTHWORKS (UN-RETAINED) SHALL NOT EXCEED 2000MM MAX.
- SLOPE RATIOS FOR EARTHWORKS

SOIL CLASS	SITE CUT MAX RATIO	SITE FILL MAX RATIO
STABLE ROCK - CLASS A	8:1	2:3
SAND - CLASS A	1:2	1:2
FIRM CLAY - CLASS M-E	1:1	1:2
SOFT CLAY - CLASS M-E	2:3	NOT SUITABLE

- SLOPE RATIOS FOR *FILLED SOFT CLAY (CLASS M-E) AND ALL EARTHWORKS FOR CLASS P* SITES MUST BE SPECIFIED BY THE DESIGNING ENGINEER AND NOMINATED ON THE SITE PLAN.

TERMITE TREATMENT

- TERMITE TREATMENT TO BE PROVIDED WHERE NOMINATED BY THE RELEVANT MUNICIPALITY AS AN AFFECTED AREA PURSUANT TO PART 3.1.4 BCA AND AS3660.

DRAINAGE

- SURFACE DRAINAGE TO COMPLY WITH CLAUSE 3.1.3.3 BCA
- STORMWATER DRAINAGE TO COMPLY WITH CLAUSE 3.1.3.5 BCA AND CONNECTED TO THE RELEVANT MUNICIPALITY'S APPROVED LEGAL POINT OF DISCHARGE.
- STEP DOWNS/FREEBOARD
 - STEP DOWNS ABOVE EXTERNAL CONCRETE OR BALCONIES THAT ARE SLOPED AWAY FROM THE DWELLING TO BE 50MM MIN
 - STEP DOWNS ABOVE ALL OTHER SURFACES TO BE 150MM

FOUNDATIONS

- ALL FOUNDATIONS TO BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEER'S CERTIFIED DESIGN, PART 2.3 BCA AND AS 2870.
- CONCRETE TO BE MANUFACTURED TO AS 3600

WALL CLADDING

- BRICKWORK TO COMPLY WITH PART 3.3 BCA, AS 3700 & AS 4773
- ARTICULATION JOINTS WITH A MIN WIDTH OF 10MM TO BE PROVIDED AS SPECIFIED IN THE ENGINEER'S DESIGN AND CLAUSE 3.3.5.13 BCA.
- HEBEL PANELS TO BE PROVIDED AND INSTALLED PURSUANT TO THE NATA TESTING AUTHORITY APPROVED MANUFACTURER'S SPECIFICATIONS
- FOAMBOARD WALL CLADDING TO BE PROVIDED AND INSTALLED PURSUANT TO THE NATA TESTING AUTHORITY APPROVED MANUFACTURER'S SPECIFICATIONS

GLAZING

- THE TYPE GLASS AND INSTALLATION OF ALL GLAZING (WINDOWS, DOORS, SHOWER SCREENS, BALUSTRADES AND ROOF LIGHTS) TO BE IN ACCORDANCE WITH PART 3.6 BCA AND AS 1288.

GUTTERS & DOWNPIPES

- ALL GUTTERS AND DOWNPIPES ARE TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH AS 3500.3
- PLUMBERS FOR GUTTERS AND DOWNPIPES TO CLEARLY SPECIFY COMPLIANCE TO AS 3500.3 IN THE PLUMBING COMPLIANCE CERTIFICATE.

WATERPROOFING

- ALL WET AREAS TO COMPLY WITH CLAUSE 3.8.1.2 BCA AND AS 3740
- BALCONY WATERPROOFING TO BE PROVIDED PURSUANT TO CLAUSE 3.8.1.3, BCA AND AS 4654 PARTS 1 & 2.

SMOKE ALARMS

- INTERCONNECTED CEILING MOUNTED SMOKE ALARMS WIRED DIRECTLY TO MAINS WITH BATTERY BACKUP AND INSTALLED IN ACCORDANCE WITH PART 3.7.5 BCA AND AS 3886

STAIRS

- STEP SIZES
 - RISERS - 115MM MIN & 190MM MAX.
 - GOING - 240MM MIN & 355MM MAX
- OPEN RISERS - 125MM MAX GAP BETWEEN TOP OF TREAD TO UNDERSIDE OF TREAD ABOVE.
- MAX. NUMBER OF RISERS IN A STAIRWAY BEFORE REQUIRING A LANDING - 18 RISERS
- DOORWAY THRESHOLDS - 230MM MAX TO ADJOINING SURFACE,
- SLIP-RESISTANCE - TREADS AND LANDINGS MUST HAVE A SURFACE OR NOSING STRIP WITH A SLIP RESISTANCE OF NOT LESS THAN THAT SPECIFIED IN CLAUSE 3.9.1.4, BCA.
- HEADROOM HEIGHT ABOVE STAIRS TO BE 2000MM MIN.

LANDINGS

- MIN. LENGTH - 750MM
- LANDING REQUIRED WHERE A DOORWAY THRESHOLD OPENS ONTO A STAIRWAY THAT EXCEEDS 3 RISERS OR 570MM IN HEIGHT.

BALUSTRADES (BARRIERS) & HANDRAILS

- BALUSTRADES TO BE PROVIDED WHERE ADJOINING FLOOR OR GROUND LEVEL DIFFERS MORE THAN 1000MM OR 5 RISERS IN HEIGHT.
- BALUSTRADE HEIGHT ABOVE LANDINGS/BALCONIES/DECKS - 1000MM
- BALUSTRADE HEIGHT ABOVE STAIR NOSINGS - 865MM
- OPENINGS IN BALUSTRADE - 125MM MAX.
- HANDRAILS MUST BE LOCATED ALONG AT LEAST ONE SIDE OF A STAIRWAY AND BE CONTINUOUS ALONG THE LENGTH OF THE STAIRWAY AND HAVE NO OBSTRUCTIONS AS TO BREAK A HANDHOLD EXCEPT FOR A NEWEL POST.
- FIRST FLOOR BEDROOM WINDOWS WITHIN 1700MM OF THE FFL TO BE RESTRICTED TO A MAX OPENING OF 125MM, WHERE THE FLOOR BELOW IS 2M OR MORE ABOVE THE SURFACE BELOW.

ENERGY EFFICIENCY

- DWELLING AND GARAGE TO COMPLY WITH PART 3.12, BCA AND THE SITE SPECIFIC 6 STAR ENERGY REPORT.
- THE DWELLING IS TO BE PROVIDED WITH A 2000 LITRE WATER TANK CONNECTED TO THE SANITARY FLUSHING SYSTEMS OF THE BUILDING OR A SOLAR WATER HEATER SYSTEM INSTALLED IN ACCORDANCE WITH THE PLUMBING REGULATIONS PURSUANT TO CLAUSE 3.12.0(A), BCA.

CONDENSATION MANAGEMENT

- PLIABLE BUILDING MEMBRANE - WALL SISALATION TO BE A VAPOUR PERMEABLE MEMBRANE TO COMPLY WITH AS 4200.1 AND INSTALLED PURSUANT TO AS 4200.2.
- ALL EXHAUST FANS SHOWN ON THE PLANS ACHIEVE A MIN 40L/S FLOW RATE.
- EXHAUST FANS TO BE DUCTED TO THE EXTERNAL WALL OR THROUGH THE ROOF SPACE DIRECTLY TO A ROOF VENT. NO FANS TO DISCHARGE DIRECTLY INTO THE ROOF SPACE.a

REQUIREMENTS FOR 6 STAR



- Weather Seal Entry Door
- Waffle Pod Slab Construction
- Wall Insulation to reach R2.0 + Foil
- Ceiling Insulation to Reach R3.5
- Double glazing to all windows and all glazed doors.
- U and SHGC values as per certificate
- Maximum 600mm ceiling insulation perimeter reduced to R2.5 in accordance with AS3999

Inspections to be booked one business day in advance & no later than 3.30 P.M.
Please Contact
9887 7998 or email
inspections@djmhc.com.au

REFER TO ENERGY RATING REPORT FOR ALL REQUIREMENTS TO ACHIEVE 6 STAR ENERGY RATING, IN ACCORDANCE WITH N.C.C

TERMITE TREATMENT
IN ACCORDANCE WITH
AS 3660 IS REQUIRED.

The Bushfire Assesment Level

BUSHFIRE ATTACK LEVEL:- (BAL)

BAL-N/A - THERE IS INSUFFICIENT RISK TO WARRANT SPECIFIC CONSTRUCTION REQUIREMENTS

ALL HOMES TO COMPLY WITH AS 3959-2009 (BAL)

WIND SPEED ASSESMENT:

MAXIMUM DESIGN GUST WIND SPEED FOR THIS SITE IS: N1 - 28 m/s

IMPORTANT NOTE:

THE WIND SPEED CALCULATION IS TAKEN FROM THE JOB SPECIFIC SOIL REPORT (FRONT PAGE)

STANDARD HOMES ARE DESIGNED TO SUIT A MINIMUM WIND GUST SPEED OF 33 m/s

CONTRACT DRAWINGS

NO FURTHER CHANGES WILL BE ACCEPTED

TENDER No: SD00037616
DRAFTSPERSON: DR
DATE: 03/12/2019

ARDEN

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House type:

MILAN 29 MK2

Facade:

CUSTOM

Drawing title:

GENERAL NOTES

Clients Signature / Date

Job No:

11714

Drawn:

DR

Checked:

PV

Issue:

CONTRACT

Date:

12.08.2021

Revision No.:

By:

Date:

Clients:

CHENGZUO ZHEN & WEI WANG

Proposed Residence At:

LOT 451, No.13
POWELL PLACE,
PAKENHAM, VIC. 3810

Sheet:

01 of 14

Scale @A3:

NTS

SITE COVERAGE ANALYSIS

BUILDING	279.40 sqm	45.66 %
PERMEABLE	332.60 sqm	54.34 %
TOTAL	612.00 sqm	100.00 %

GARDEN ANALYSIS

ROOFED DRIVEWAY /PATH AREAS LESS THAN 1M IN WIDTH	279.40 sqm	45.65%
GARDEN AREA	332.60sqm	54.35%
TOTAL	612.00 sqm	100.00%

SITE CUT & FILL

PROVIDE SITE CUT OF 550mm & FILL OF 450mm OVER BUILDING AREA TO RL 102.25 AND PROVIDE AN ADDITIONAL SCRAPE TO GARAGE AREA TO ACCOMMODATE 86mm STEPDOWN. NOTE: 30° BATTER ANGLE

SITE CUT AREA: 133.61 m²
SITE FILL AREA: 244.73 m²

BOUNDARY FENCE(S) REQUIRED

OWNER TO PROVIDE PERIMETER FENCING TO A MINIMUM HEIGHT OF 1800mm TO ANY UNFENCED BOUNDARIES PRIOR TO OBTAINING A CERTIFICATE OF OCCUPANCY PERMIT

DEVELOPER APPROVAL REQUIRED

SITING SUBJECT TO APPROVAL FROM DEVELOPER

STORMWATER LAYOUT

STORMWATER DRAIN LAYOUT IS FOR INDICATIVE PURPOSES ONLY AND WILL BE INSTALLED AS PER THE DRAINAGE SUB-CONTRACTORS DISCRETION

SOLAR HOT WATER

SOLAR HOT WATER SYSTEM AND INSTALLATION TO COMPLY WITH PLUMBING REGULATIONS 1998 AND AS4234. THE SOLAR HEATER PRODUCES ENERGY SAVINGS OF 60% RELATIVE TO A CONVENTIONAL WATER HEATER IN ACCORDANCE WITH AS4234.

NBN NETWORK

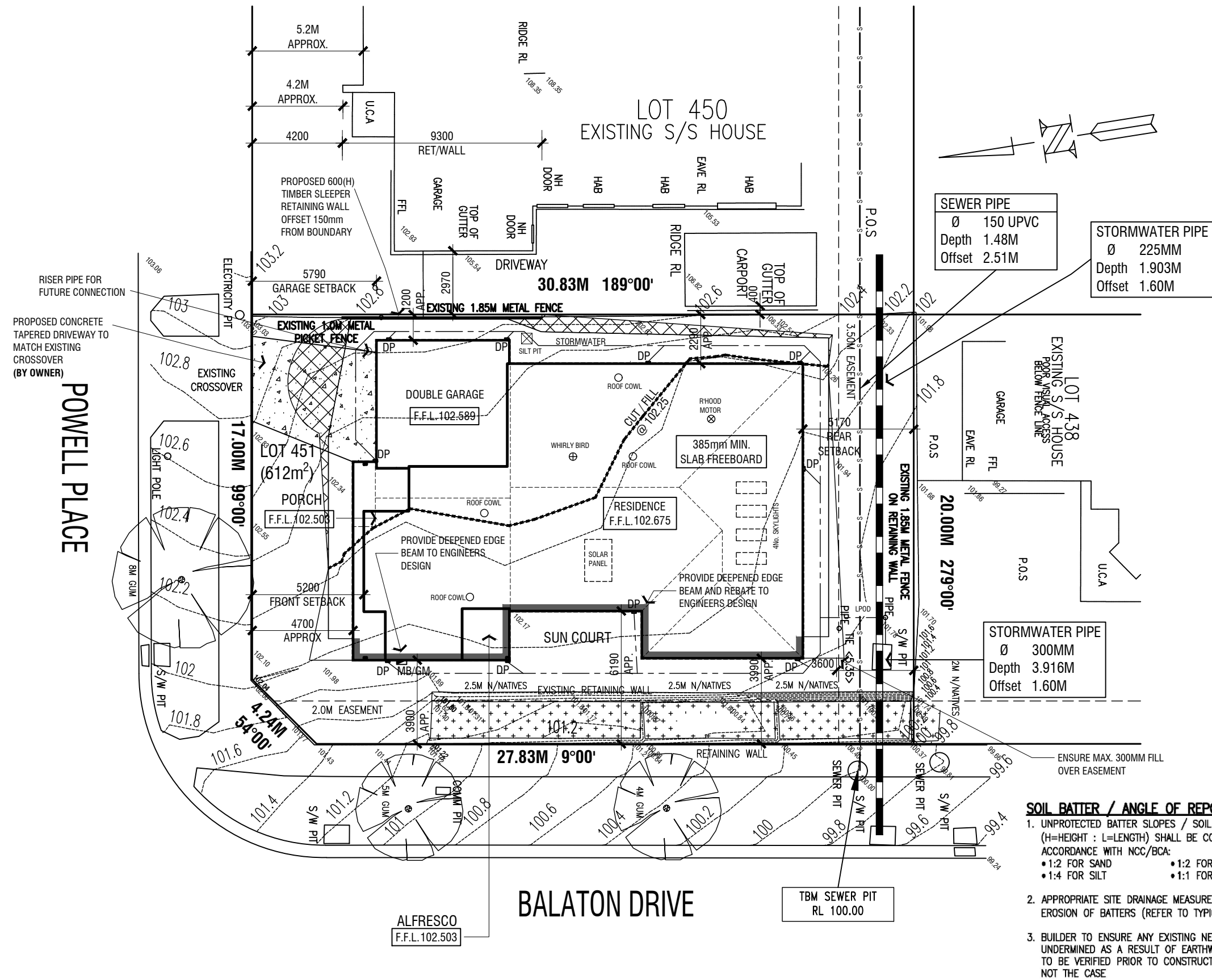
PROVIDE CLIPSAL NBN 7440 BOARD, P25 CONDUIT RUN & DRAW STRING, 1No. DOUBLE POWER POINT, SPLITTER & 4 No. DATA/PHONE POINTS

TERMITE TREATMENT REQUIRED

PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660

SEWER CONNECTION

SEWER TIE LOCATION HAS BEEN CONFIRMED



SOIL BATTER / ANGLE OF REPOSE REQUIREMENTS:

- UNPROTECTED BATTER SLOPES / SOIL ANGLE OF REPOSE (H=HEIGHT : L=LENGTH) SHALL BE CONSTRUCTED AS FOLLOWS & IN ACCORDANCE WITH NCC/BCA:
 - 1:2 FOR SAND
 - 1:2 FOR COMPACTED CLAY FILL
 - 1:4 FOR SILT
 - 1:1 FOR NATURAL CLAY CUT
- APPROPRIATE SITE DRAINAGE MEASURES TO BE PROVIDED TO PREVENT SOIL EROSION OF BATTERS (REFER TO TYPICAL CROSS SECTION DETAIL)
- BUILDER TO ENSURE ANY EXISTING NEIGHBORING STRUCTURES ARE NOT UNDERMINED AS A RESULT OF EARTHWORKS OR CONSTRUCTION. TO BE VERIFIED PRIOR TO CONSTRUCTION. CONTACT THIS OFFICE IF THIS IS NOT THE CASE

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House type: **MILAN 29 MK2**
Facade: **CUSTOM**
Drawing title: **SITE PLAN**

Clients Signature / Date
Clients Signature / Date
Builders Signature / Date

Job No: **11714**
Drawn: **DR**
Checked: **PV**
Issue: **CONTRACT**
Date: **12.08.2021**

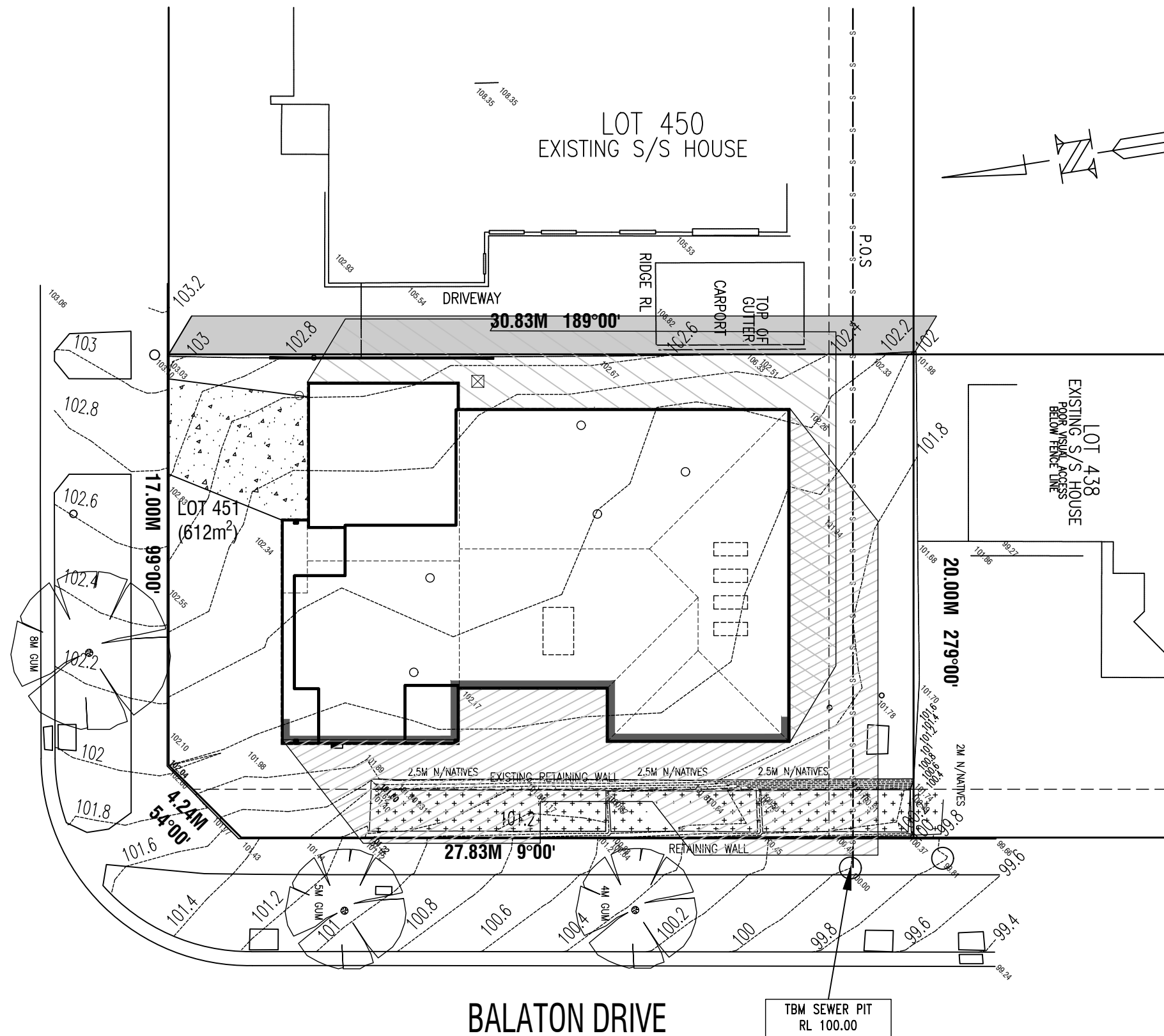
Revision No.:
By:
Date:

PRELIM	DR	24/09/2019
DRP & F/BOARD UPD.	PV	02/10/2019
CONTRACT	DR	28/11/2019
PTV#38021/38316	PV	03/12/2019
PTV#39037	PV	24/01/2020
PTV#51943	PV	27/07/2021
DJM RFI	PV	12/08/2021

Clients:
CHENGZUO ZHEN & WEI WANG
Proposed Residence At:
**LOT 451, No.13
POWELL PLACE,
PAKENHAM, VIC. 3810**

Sheet:
02 of 14
Scale @A3:
1:200

POWELL PLACE



- DENOTES SHADOW CAST OF EXISTING FENCE AT 2pm ON 22 SEPTEMBER
- DENOTES SHADOW CAST OF PROPOSED BUILDING AT 9am ON 22 SEPTEMBER
- DENOTES SHADOW CAST OF PROPOSED BUILDING AT 2pm ON 22 SEPTEMBER

APPROVED PERMIT
Permit No 8699485664325
Permit Date 17/09/2021

ARDEN

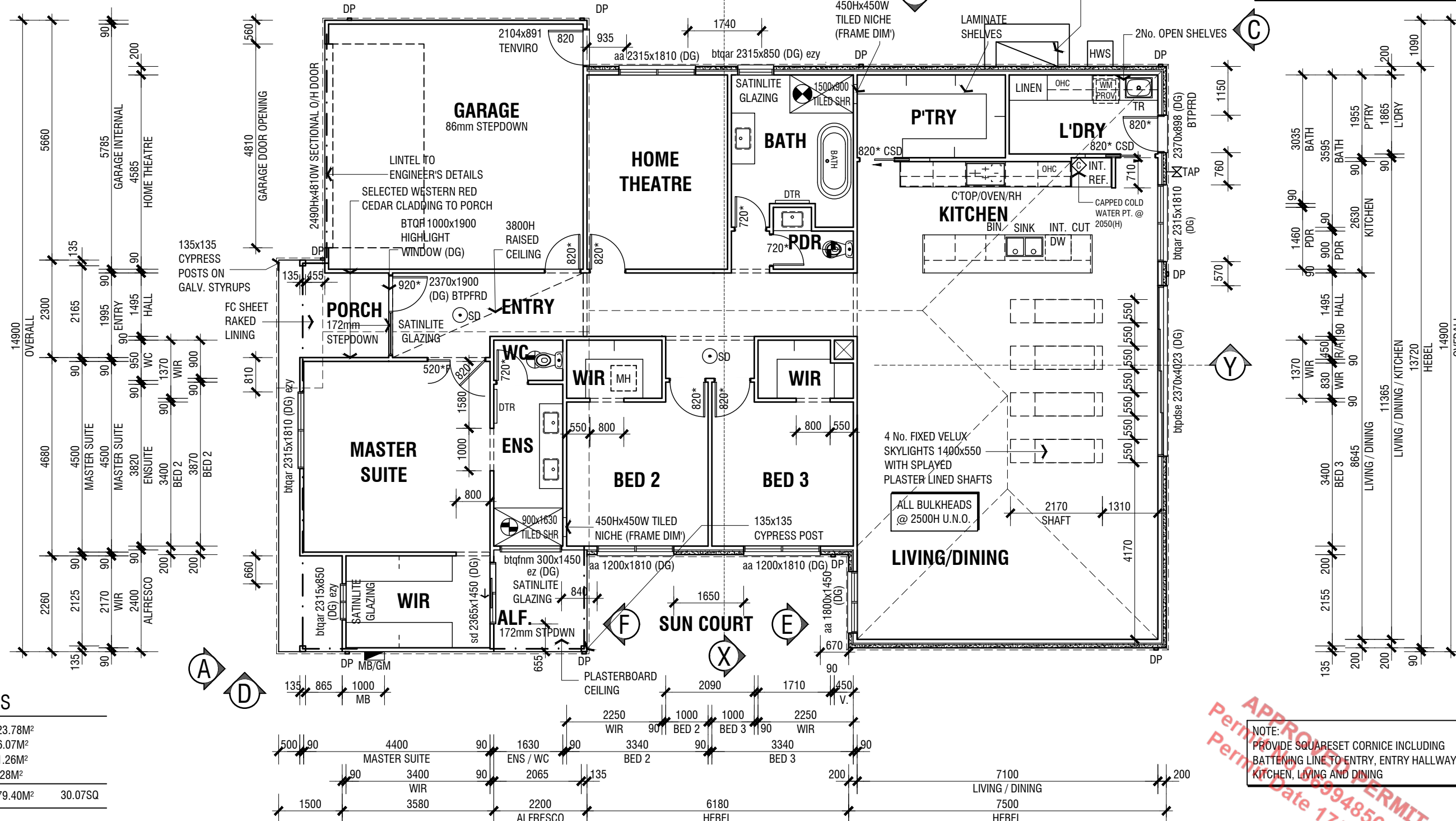
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Facade:	CUSTOM	Clients Signature / Date	Drawn:	DR	PRELIM	DR	24/09/2019	CHENGZUO ZHEN & WEI WANG	2A of 14
Drawing title:	SHADOW PLAN	Builders Signature / Date	Checked:	PV	DRP & F/BOARD UPD.	PV	02/10/2019	Proposed Residence At:	Scale @A3:
			Issue:	CONTRACT	CONTRACT	DR	28/11/2019	LOT 451, No.13 POWELL PLACE, PAKENHAM, VIC. 3810	1:200
			Date:	12.08.2021	PTV#38021/38316	PV	03/12/2019		
					PTV#39037	PV	24/01/2020		
					PTV#51943	PV	27/07/2021		
					DJM RFI	PV	12/08/2021		

NOTE:
ALL EXHAUST FANS ARE TO BE VENTED TO
OUTSIDE AIR

_____ . _____ BEAM TO ENGINEER'S
DESIGN & COMPUTATIONS



AREA ANALYSIS

LIVING:	223.78M ²	
GARAGE:	36.07M ²	
PORCH:	11.26M ²	
ALFRESCO:	5.28M ²	
TOTAL AREA:	279.40M ²	30.07SQ

GENERAL NOTES

WRITTEN DIMENSIONS TAKE PREFERENCE OVER SCALE. NOTE ALL DIMENSIONS ARE TAKEN TO FRAME AND ARE NOMINAL MEASUREMENTS. UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE AS FOLLOWS:

EXTERNAL 200mm# = 75 HEBEL, 35 CAVITY, 90 STUD
INTERNAL 90mm# STUD (# INDICATES 45mm STUD)

PROVIDE REMOVABLE HINGES TO ALL HINGED WC & POWDER ROOM DOORS WHEN DISTANCE FROM THE DOOR OPENING TO THE PAN IS LESS THAN 1200mm FOR INWARD SWINGING DOORS.

PROVIDE WEATHER STRIPS TO FRONT ENTRY DOOR.

	MANHOLE		CEILING EXHAUST FAN SWITCHED WITH LIGHT
	INTERCONNECTED SMOKE DETECTOR (HARDWIRED WITH BATTERY BACKUP)		

2340 HIGH DOORS TO GROUND FLOOR DOORS & FIRST FLOOR WHERE INDICATED WITH * * *

NOTE:
PROVIDE SQUARESET CORNICE INCLUDING
BATTENING LINE TO ENTRY, ENTRY HALLWAY,
KITCHEN, LIVING AND DINING

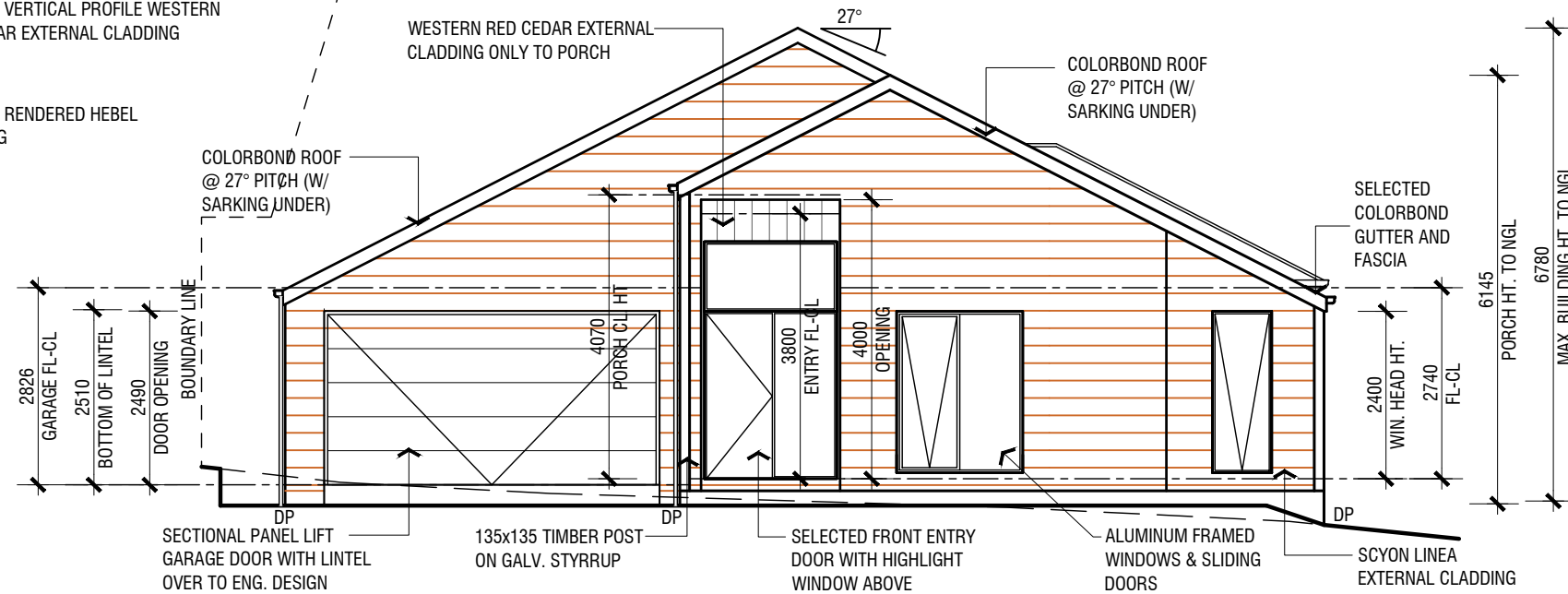
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	Facade: CUSTOM	Clients Signature / Date	Drawn: DR	DRP & F/BOARD UPD.	PV	02/10/2019	Proposed Residence At:	LOT 451, No.13 POWELL PLACE, PAKENHAM, VIC. 3810	Scale @A3: 1:100
	Drawing title: FLOOR PLAN	Builders Signature / Date	Checked: PV	PTV#38021/38316	PV	03/12/2019			
			Issue: CONTRACT	PTV#39037	PV	24/01/2020			
			Date: 12.08.2021	PTV#51943	PV	27/07/2021			
			DJM RF	PV	12/08/2021				

DENOTES HORIZONTAL PROFILE
SYCON LINEA EXTERNAL CLADDING

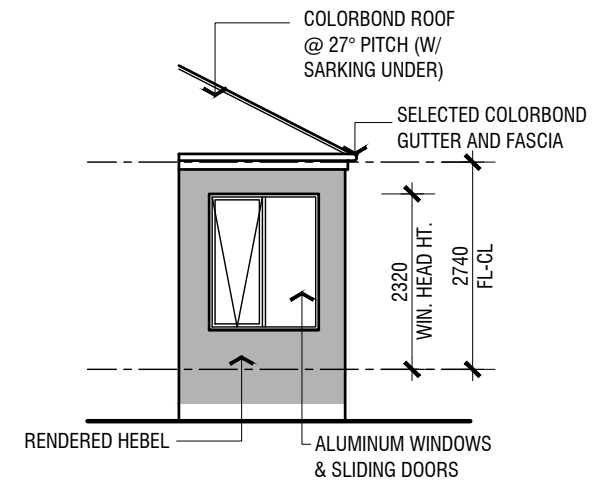
DENOTES VERTICAL PROFILE WESTERN
RED CEDAR EXTERNAL CLADDING

DENOTES RENDERED HEBEL
CLADDING

FACADE MATERIAL CALCULATION			
SCYON CLADDING:	44.93 m ²	84.34%	
WEST'N RED CEDAR:	2.06 m ²	3.87%	
FASCIA & SLAB:	6.28 m ²	11.79%	
OVERALL:	53.27 m ²	100.00%	

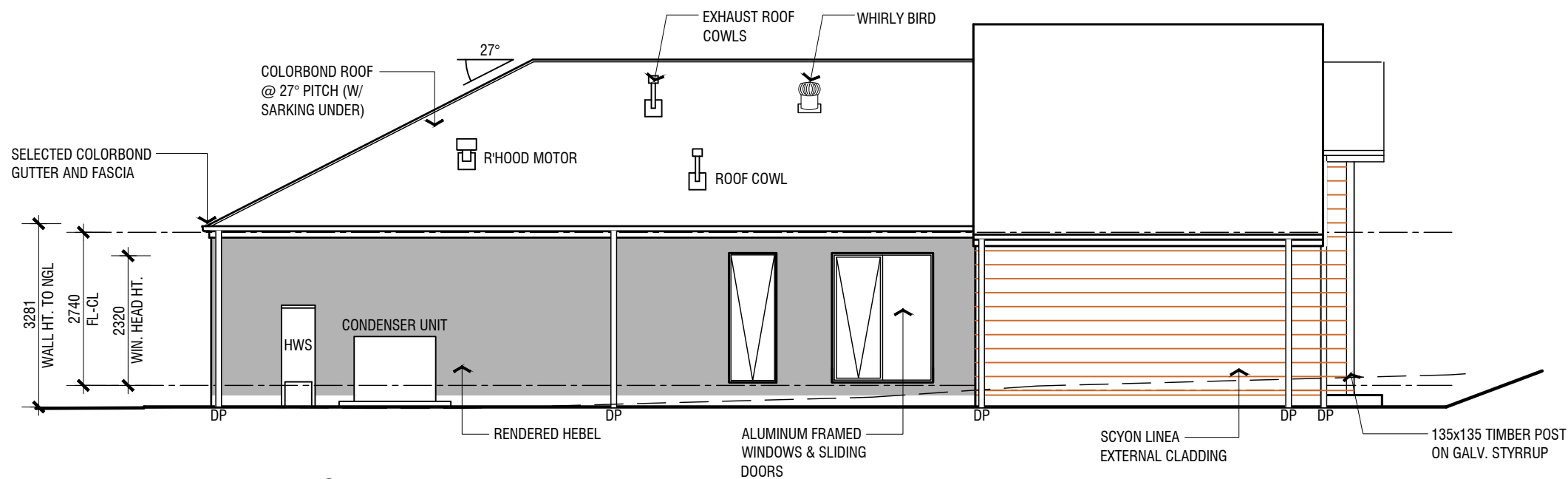


ELEVATION A



ELEVATION E

NOTE:
HATCHING IS FOR ILLUSTRATIVE PURPOSES ONLY. SIZE &
USE OF MATERIALS MAY VARY DURING CONSTRUCTION



ELEVATION B

CONTRACT DRAWINGS

NO FURTHER CHANGES WILL BE ACCEPTED

TENDER No: SD00037616
DRAFTSPERSON: DR
DATE: 03/12/2019

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House type: **MILAN 29 MK2**

Facade: **CUSTOM**

Drawing title: **ELEVATIONS**

Clients Signature / Date

Clients Signature / Date

Builders Signature / Date

Job No: **11714**

Drawn: **DR**

Checked: **PV**

Issue: **CONTRACT**

Date: **12.08.2021**

Revision No.:	By:	Date:
PRELIM	DR	24/09/2019
DRP & F/BOARD UPD.	PV	02/10/2019
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Clients:

CHENGZUO ZHEN & WEI WANG

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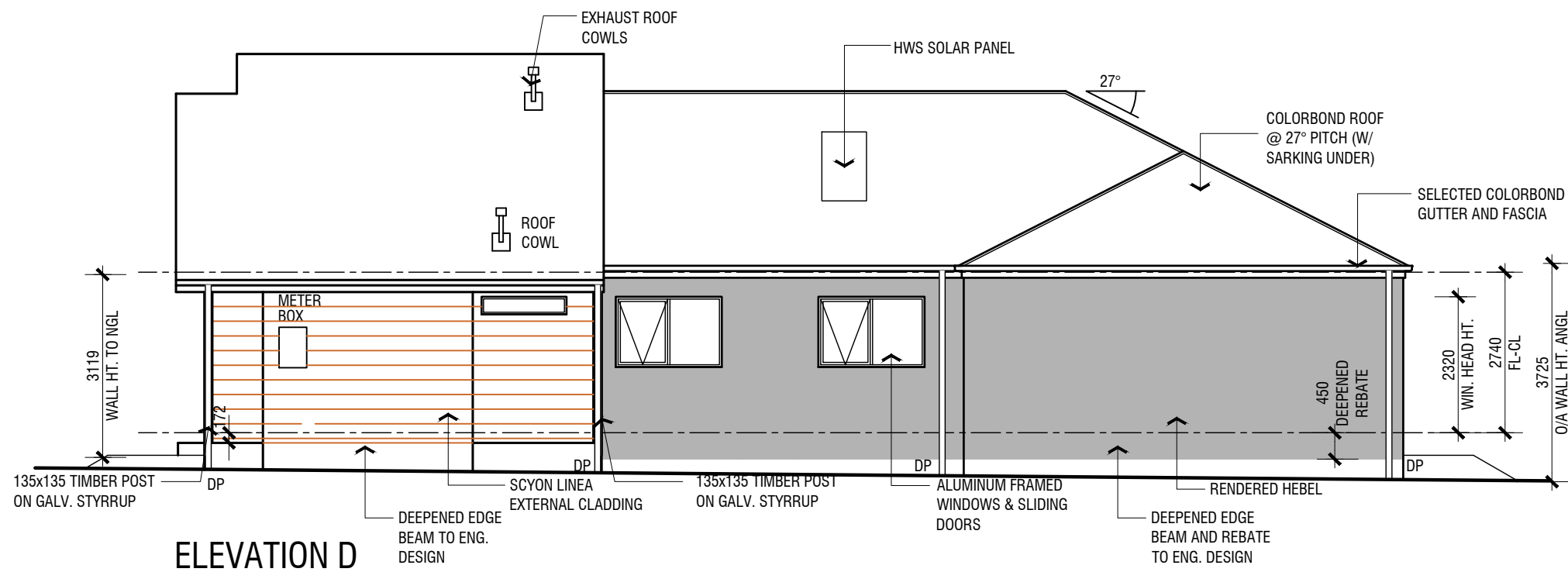
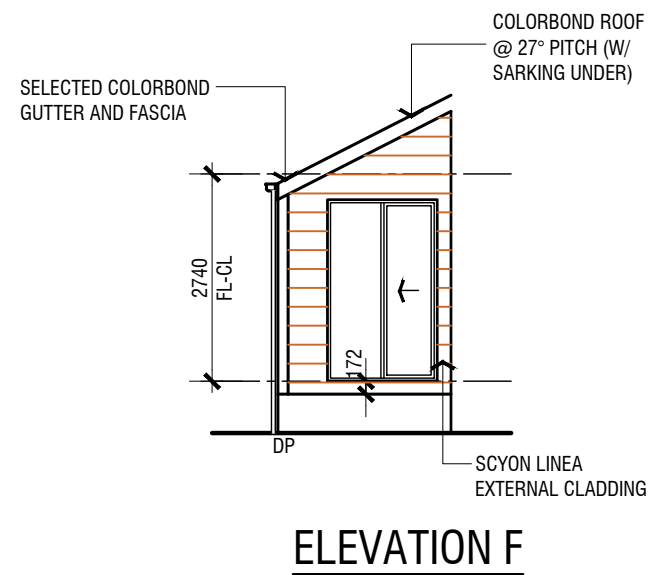
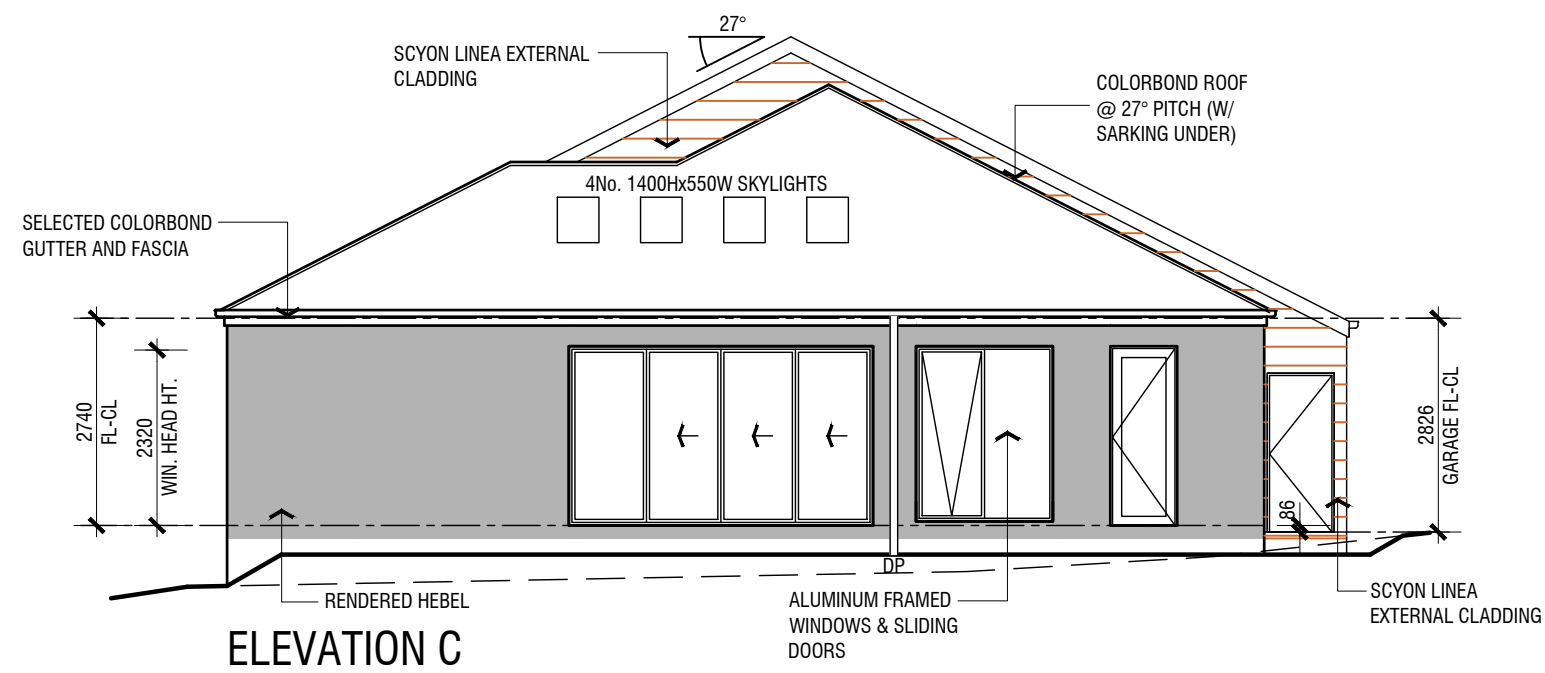
Sheet:

04 of **14**

Scale @A3:

1:100

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CONTRACT DRAWINGS

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TENDER No: SD00037616
DRAFTSPERSON: DR
DATE: 03/12/2019

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House type: **MILAN 29 MK2**
Facade: **CUSTOM**
Drawing title: **ELEVATIONS**

Clients Signature / Date

Clients Signature / Date

Builders Signature / Date

Job No: **11714**

Drawn: **DR**

Checked: **PV**

Issue: **CONTRACT**

Date: **12.08.2021**

Revision No.:

PRELIM

DRP & F/BOARD UPD.

CONTRACT

PTV#38021/38316

PTV#39037

PTV#51943

DJM RFI

By:

DR

PV

DR

PV

PV

PV

PV

Date:

24/09/2019

02/10/2019

28/11/2019

03/12/2019

24/01/2020

27/07/2021

12/08/2021

Clients:

CHENGZUO ZHEN & WEI WANG

Proposed Residence At:

LOT 451, No.13
POWELL PLACE,
PAKENHAM, VIC. 3810

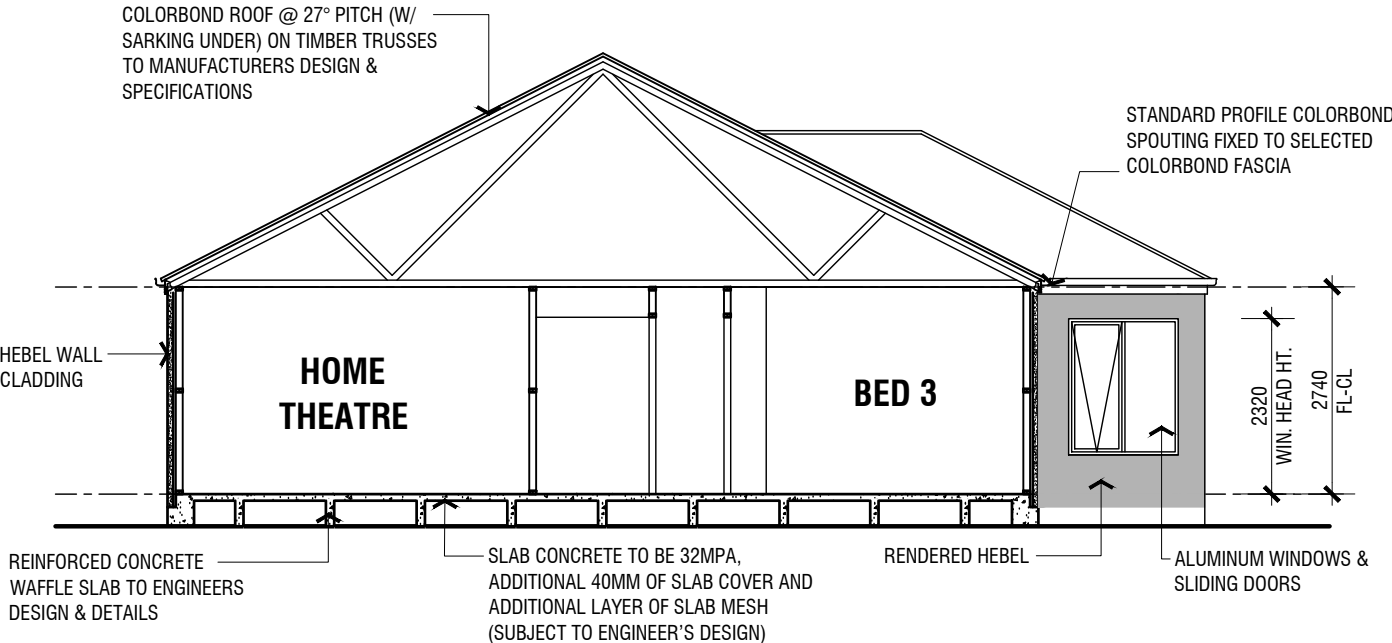
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05 of **14**

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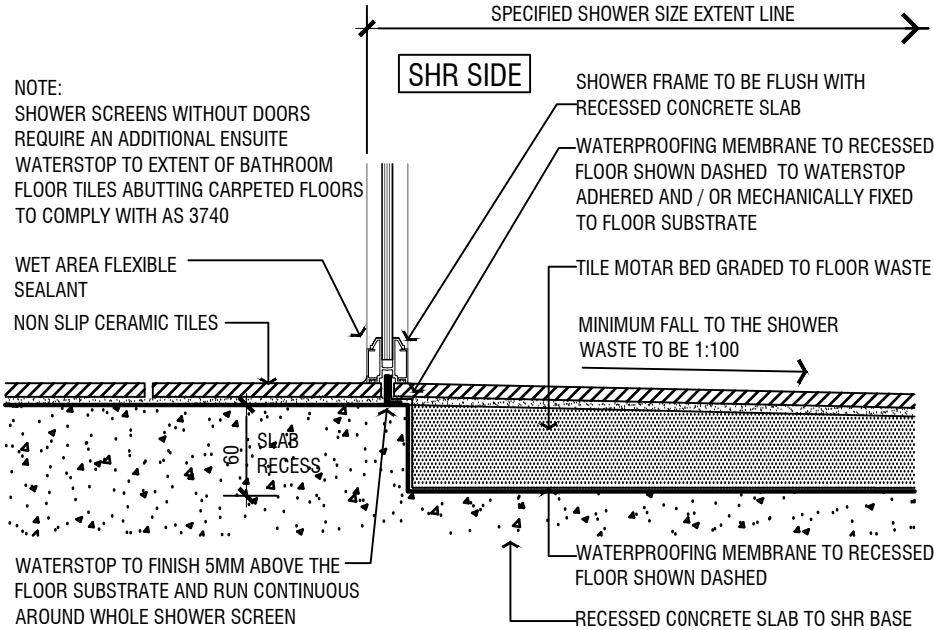
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NOTE:
HATCHING IS FOR ILLUSTRATIVE PURPOSES ONLY. SIZE &
USE OF MATERIALS MAY VARY DURING CONSTRUCTION



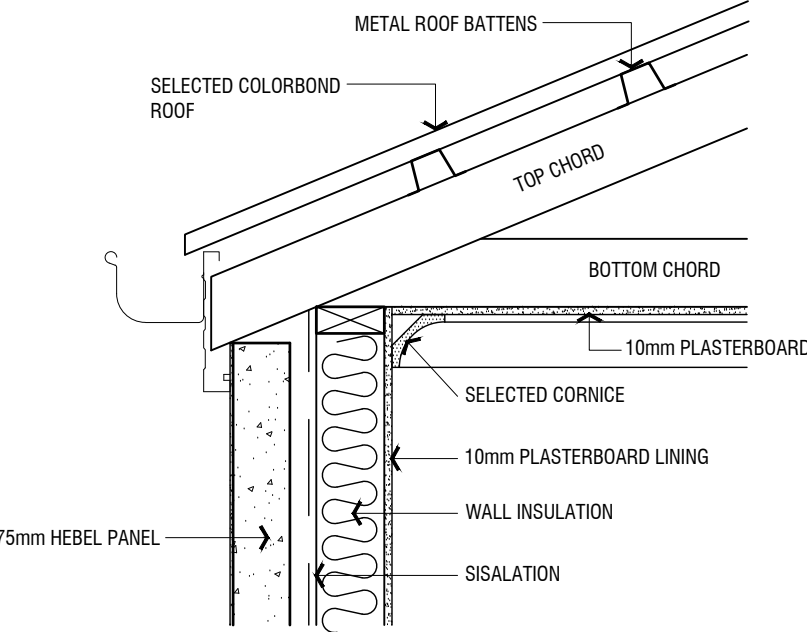
SECTION X-X

SCALE: 1:100



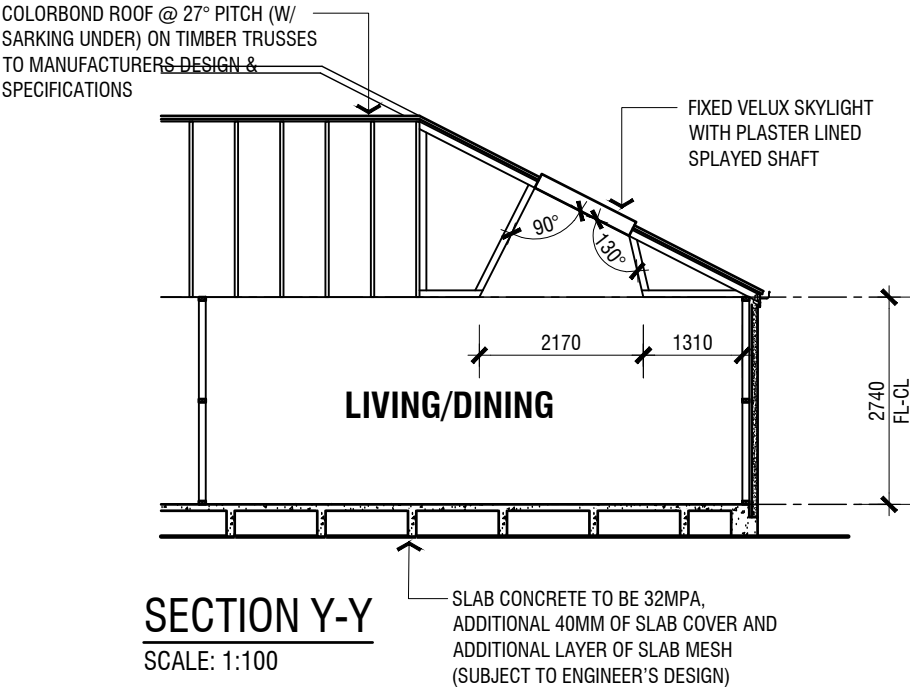
GROUND FLOOR RECESSED SLAB SHR BASE DETAIL

SCALE: 1:5



TYPICAL HEBEL TILED ROOF SECTION

SCALE: 1:10



SECTION Y-Y

SCALE: 1:100

CONTRACT DRAWINGS

NO FURTHER CHANGES WILL BE ACCEPTED

TENDER No: SD00037616

DRAFTSPERSON: DR

DATE: 03/12/2019

ARDEN

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House type:

MILAN 29 MK2

Facade:

CUSTOM

Drawing title:

SECTION & DETAILS

Clients Signature / Date

Clients Signature / Date

Builders Signature / Date

Job No:

11714

Drawn:

DR

Checked:

PV

Issue:

CONTRACT

Date:

12.08.2021

Revision No.:

PRELIM

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Date:

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Clients:

CHENGZUO ZHEN & WEI WANG

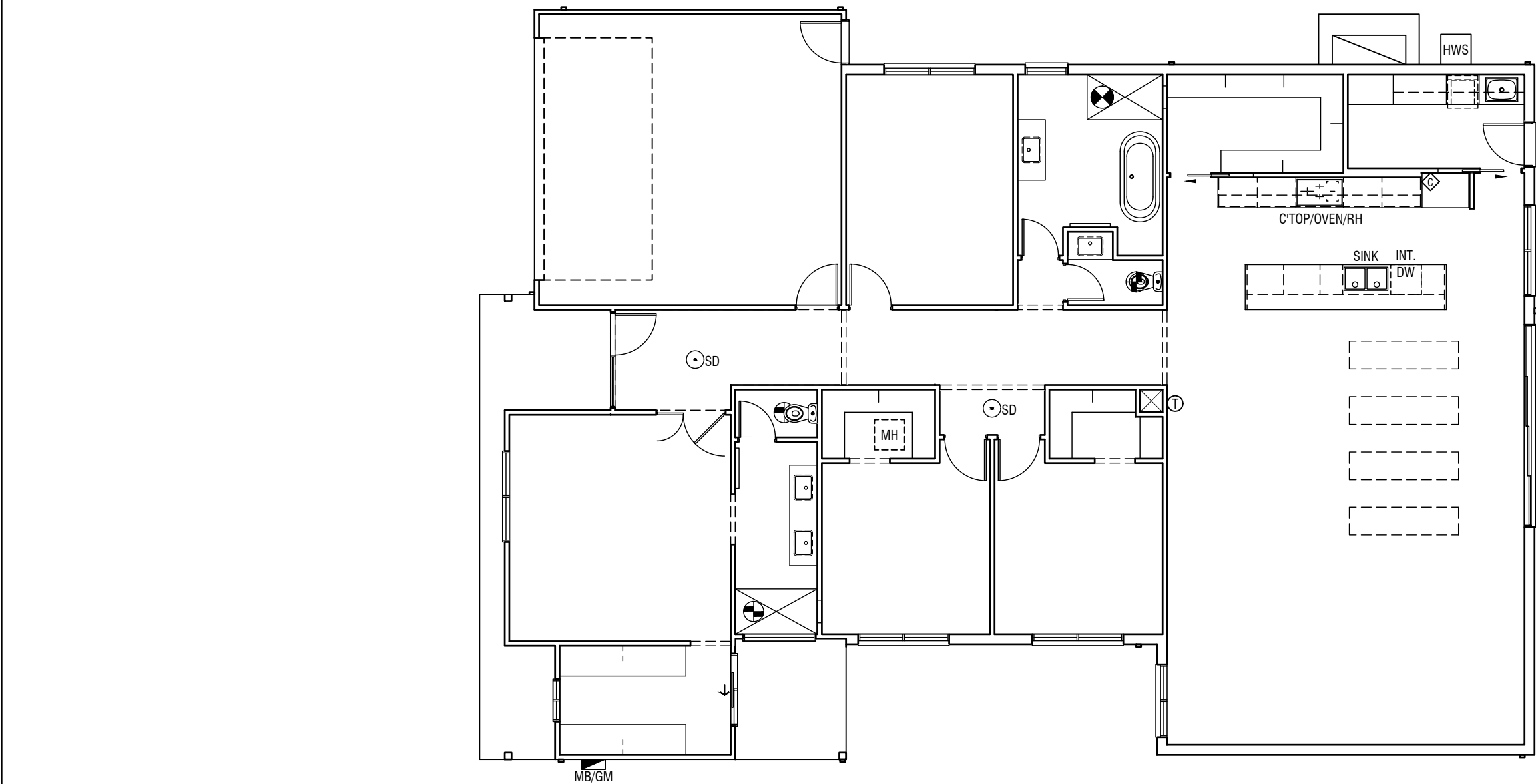
Proposed Residence At:

**LOT 451, No.13
POWELL PLACE,
PAKENHAM, VIC. 3810**

Sheet:

06 of **14**

Scale @A3:
**1:100, 1:20
& 1:10**



- HEATING LEGEND
- ⓘ THERMOSTAT
 - ◀RA RETURN AIR VENT
 - ⊕ HEATING OUTLET (APPR. LOCATION)
 - ▢ EVAP. COOLING OUTLET (APPR. LOCATION)
 - ⊙SD HEATING/REFRIG. OUTLET (APPR. LOCATION)
 - Ⓢ SENSOR FOR ZONED HVAC SYSTEMS
 - ⊠ HEATING UNIT
 - LEV EVAPORATIVE COOLING UNIT
 - ⊙SD ADD ON A/C COOLING UNIT
 - ⊠ A/C CONDENSER UNIT

NOTE:
HEATING & COOLING OUTLET LOCATIONS ARE INDICATIVE ONLY AND ARE SUBJECT TO ON-SITE CONDITIONS

NOTE:
PROVIDE ACTRON REVERSE CYCLE DUCTED SPLIT SYSTEM WITH FIVE ZONES:
ZONE 1: MASTER SUITE & MASTER ENSUITE
ZONE 2: BED 2, ENTRY, HALLWAY & BATHROOM
ZONE 3: BED 3
ZONE 4: THEATRE
ZONE 5: KITCHEN, LIVING, DINING & LAUNDRY

CONTRACT DRAWINGS

NO FURTHER CHANGES WILL BE ACCEPTED

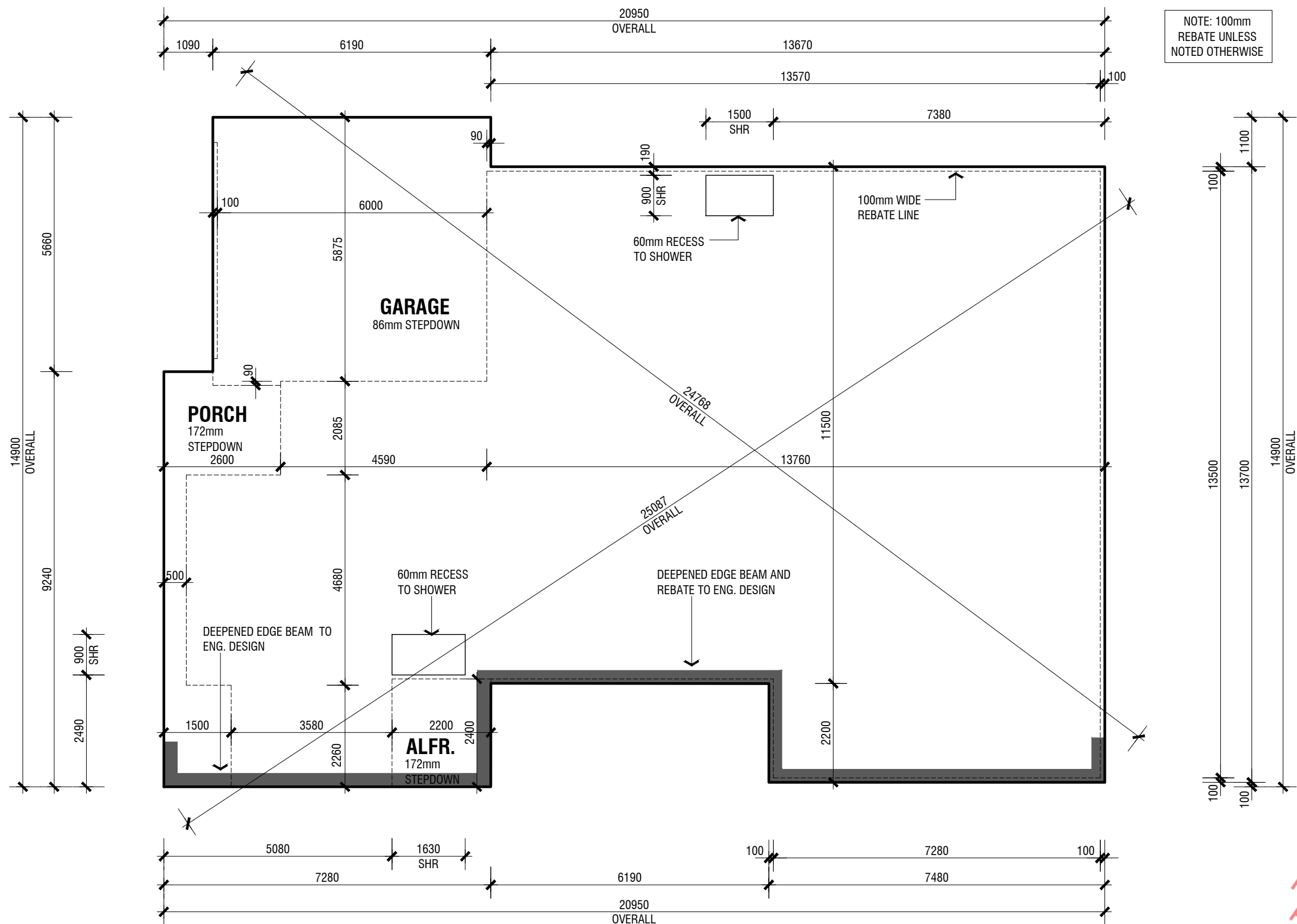
TENDER No: SD00037616
DRAFTSPERSON: DR
DATE: 03/12/2019

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House type: MILAN 29 MK2	Clients Signature / Date	Job No:	11714	Revision No.:	By:	Date:	Clients:	Sheet:
		Drawn:	DR	PRELIM	DR	24/09/2019	CHENGZUO ZHEN & WEI WANG	07 of 14
Facade: CUSTOM	Clients Signature / Date	Checked:	PV	DRP & F/BOARD UPD.	PV	02/10/2019		
				CONTRACT	DR	28/11/2019		
Drawing title: ELECTRICAL	Builders Signature / Date	Issue:	CONTRACT	PTV#38021/38316	PV	03/12/2019	LOT 451, No.13 POWELL PLACE, PAKENHAM, VIC. 3810	
				PTV#39037	PV	24/01/2020		
				PTV#51943	PV	27/07/2021		
		Date:	12.08.2021	DJM RFI	PV	12/08/2021		



CONTRACT DRAWINGS

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TENDER No: SD00037616
DRAFTSPERSON: DR
DATE: 03/12/2019

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House type:

MILAN 29 MK2

Facade:

CUSTOM

Drawing title:

SLAB PLAN

Clients Signature / Date

Clients Signature / Date

Builders Signature / Date

Job No: **11714**

Drawn: **DR**

Checked: **PV**

Issue: **CONTRACT**

Date: **12.08.2021**

Revision No.:

PRELIM

DRP & F/BOARD UPD.

CONTRACT

PTV#38021/38316

PTV#39037

PTV#51943

DJM RFI

By:

DR

PV

DR

PV

PV

PV

PV

Date:

24/09/2019

02/10/2019

28/11/2019

03/12/2019

24/01/2020

27/07/2021

12/08/2021

Clients:

CHENGZUO ZHEN & WEI WANG

Proposed Residence At:

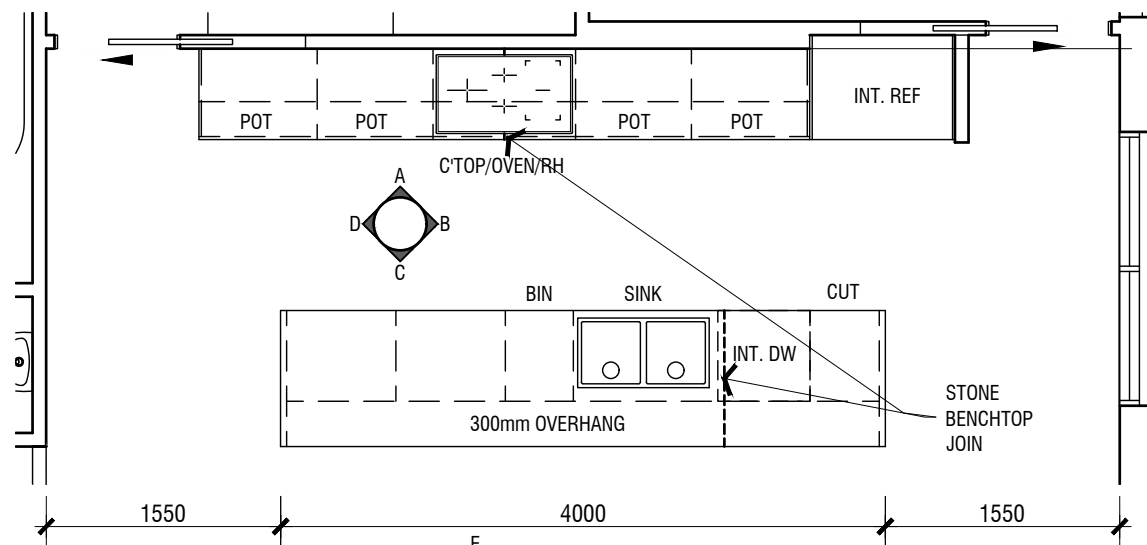
LOT 451, No.13
POWELL PLACE,
PAKENHAM, VIC. 3810

Sheet:

09 of **14**

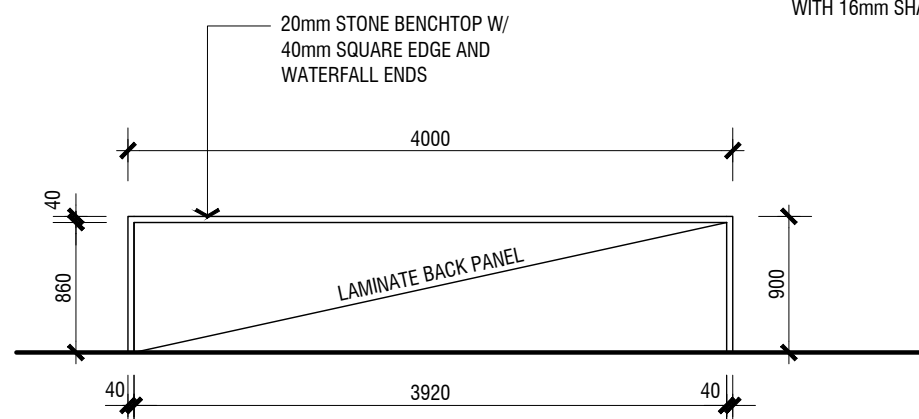
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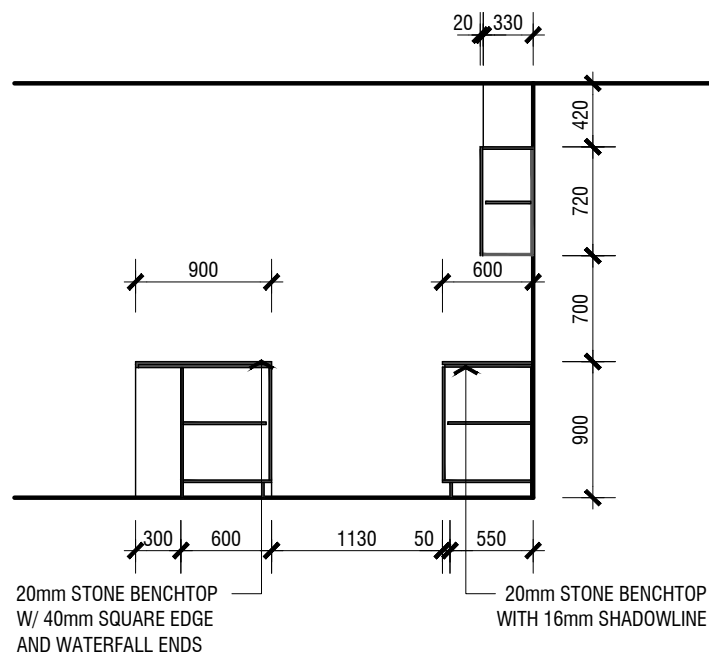


KITCHEN
SCALE: 1:50

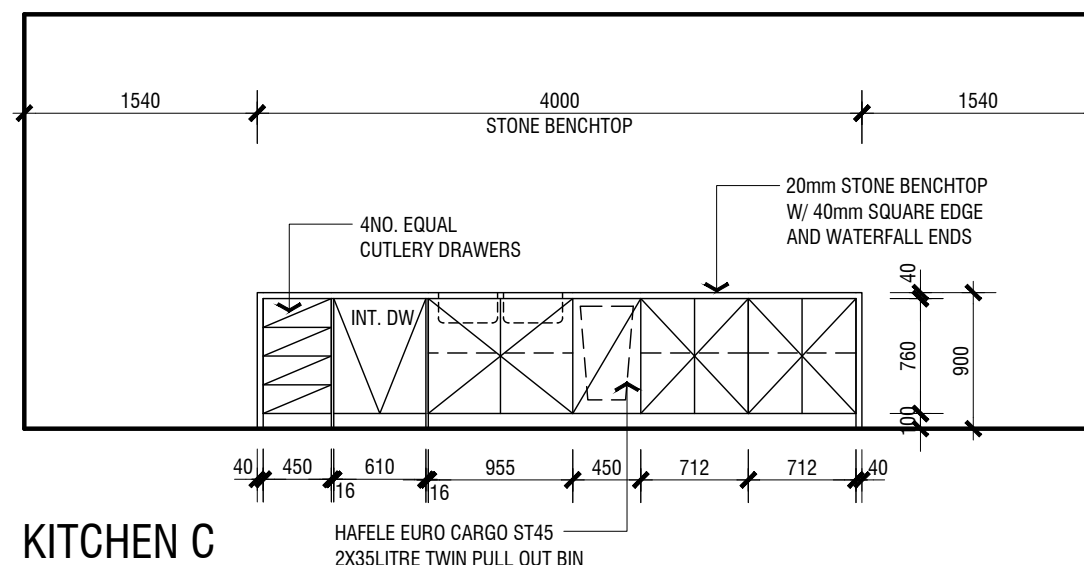
NOTE:
1. ALL INTERNAL SETOUT DIMENSIONS ARE FROM PLASTER.
2. INTERNAL ELEVATIONS ARE INDICATIVE ONLY. ALL CUPBOARD DIMENSIONS TO BE SITE MEASURED



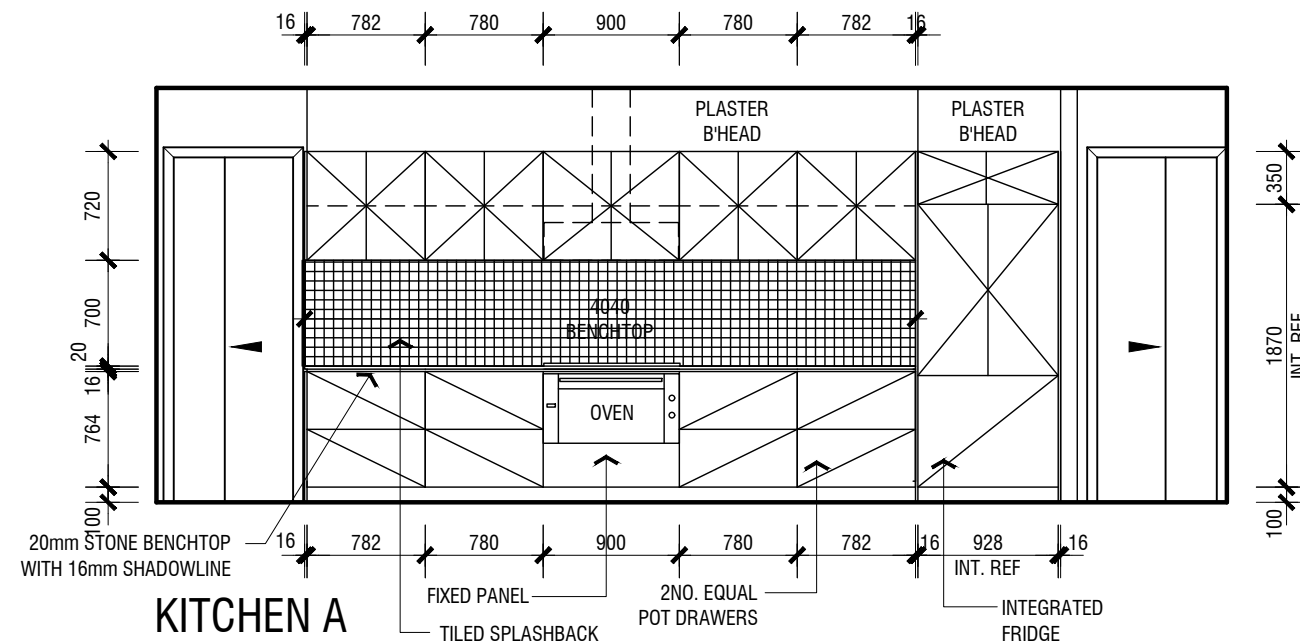
KITCHEN E



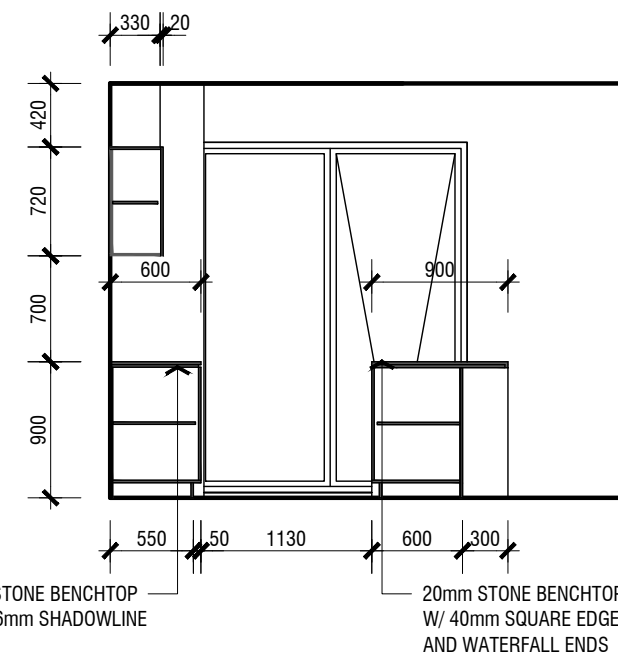
KITCHEN D



KITCHEN C



KITCHEN A



KITCHEN B

CONTRACT DRAWINGS

NO FURTHER CHANGES WILL BE ACCEPTED

TENDER No: SD00037616
DRAFTSPERSON: DR
DATE: 03/12/2019

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House type:

MILAN 29 MK2

Facade:

CUSTOM

Drawing title:

INTERNALS

Clients Signature / Date

Clients Signature / Date

Builders Signature / Date

Job No: **11714**

Drawn: **DR**

Checked: **PV**

Issue: **CONTRACT**

Date: **12.08.2021**

Revision No.:

PRELIM

DRP & F/BOARD UPD.

CONTRACT

PTV#38021/38316

PTV#39037

PTV#51943

DJM RFI

By:

DR

PV

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Date:

24/09/2019

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24/01/2020

27/07/2021

12/08/2021

Clients:

CHENGZUO ZHEN & WEI WANG

Proposed Residence At:

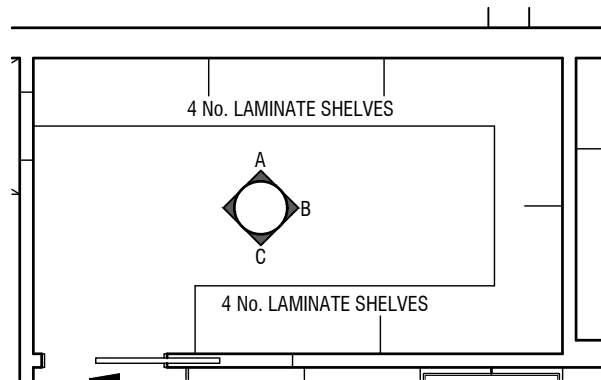
LOT 451, No.13
POWELL PLACE,
PAKENHAM, VIC. 3810

Sheet:

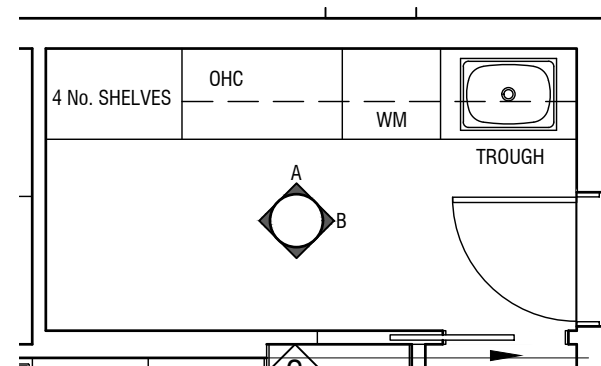
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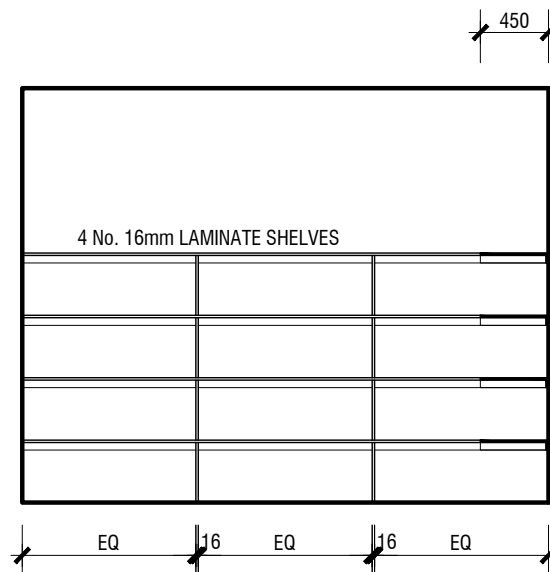
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PANTRY
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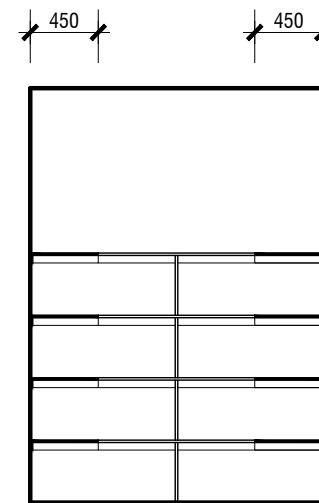


LAUNDRY
SCALE: 1:50

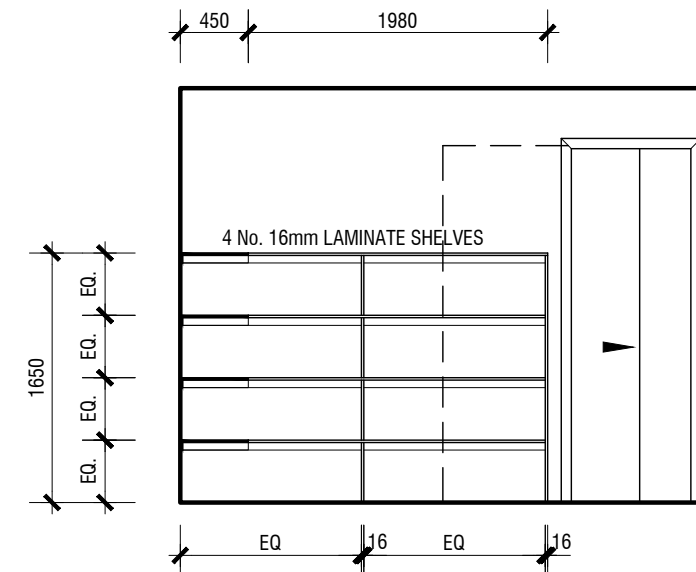


PANTRY A

NOTE:
1. ALL INTERNAL SETOUT DIMENSIONS ARE FROM PLASTER.
2. INTERNAL ELEVATIONS ARE INDICATIVE ONLY.
ALL CUPBOARD DIMENSIONS TO BE SITE MEASURED



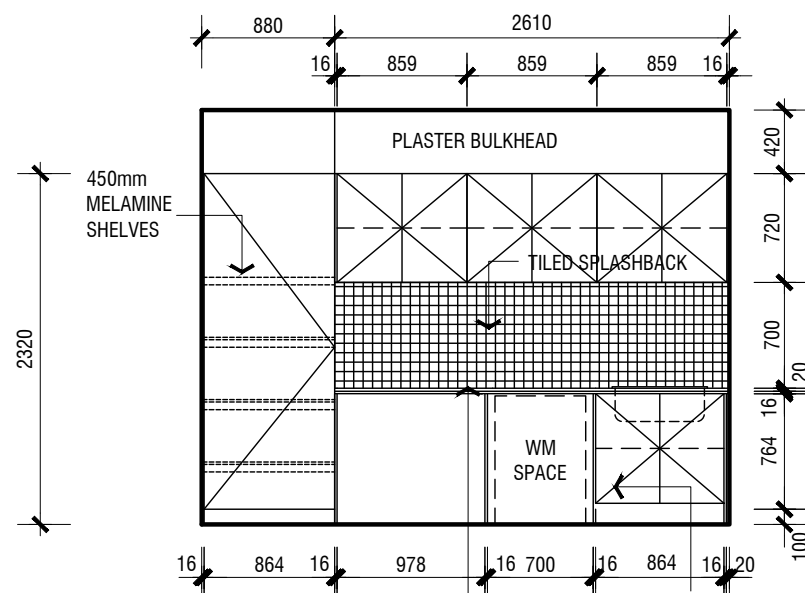
PANTRY B



PANTRY C

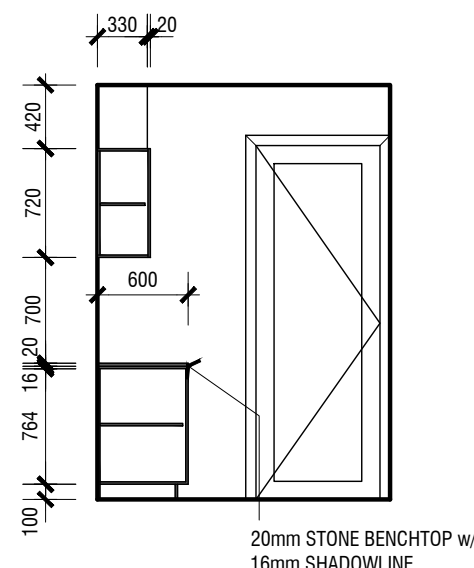
CONTRACT DRAWINGS

NO FURTHER CHANGES WILL BE ACCEPTED
TENDER No: SD00037616
DRAFTSPERSON: DR
DATE: 03/12/2019

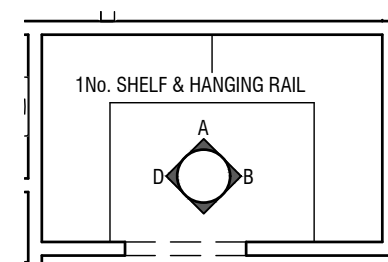


LAUNDRY A

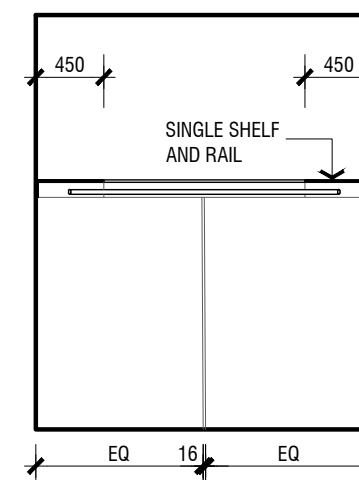
20mm STONE BENCHTOP w/ 16mm SHADOWLINE
NOTE: W/M STOPS LOCATED INSIDE CABINET UNDER TROUGH



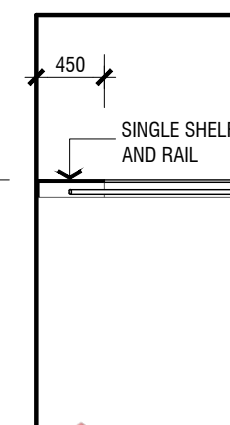
LAUNDRY B



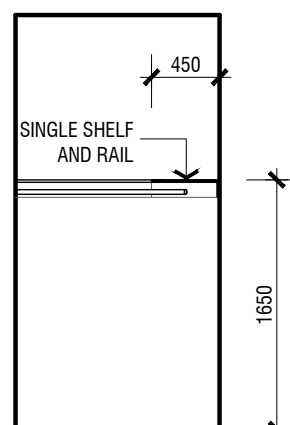
BED 2 WIR
SCALE: 1:50



BED 2 WIR A



BED 2 WIR B



BED 2 WIR D

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House type:

MILAN 29 MK2

Facade:

CUSTOM

Drawing title:

INTERNALS

Clients Signature / Date

Clients Signature / Date

Builders Signature / Date

Job No: **11714**

Drawn: **DR**

Checked: **PV**

Issue: **CONTRACT**

Date: **12.08.2021**

Revision No.:

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CONTRACT

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PTV#39037

PTV#51943

DJM RFI

By:

DR

PV

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Clients:

CHENGZUO ZHEN & WEI WANG

Proposed Residence At:

LOT 451, No.13
POWELL PLACE,
PAKENHAM, VIC. 3810

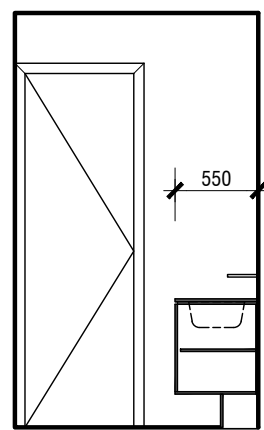
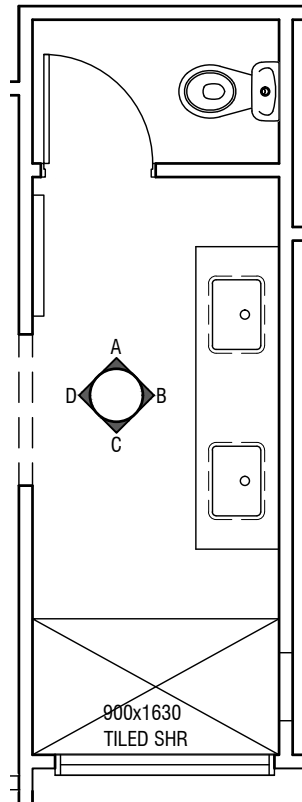
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12 of **14**

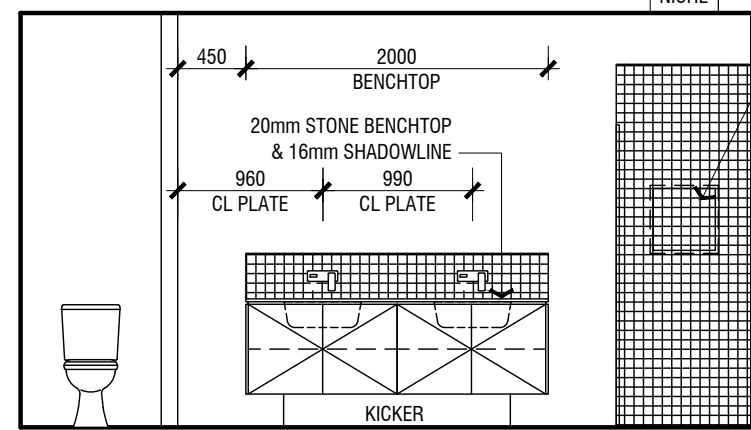
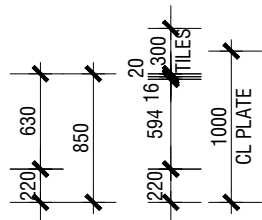
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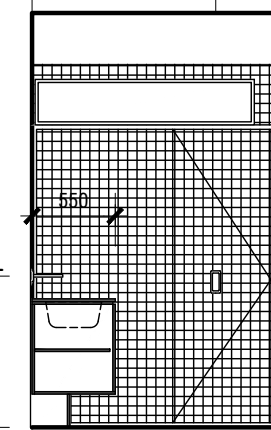
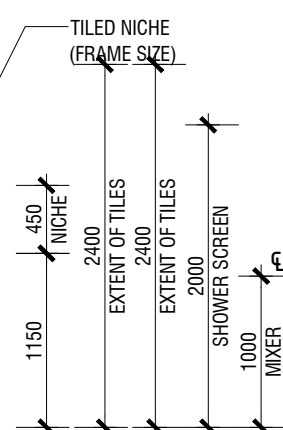
APPROVED PERMIT
Permit No. 6699485664325
Permit Date 17/09/2021



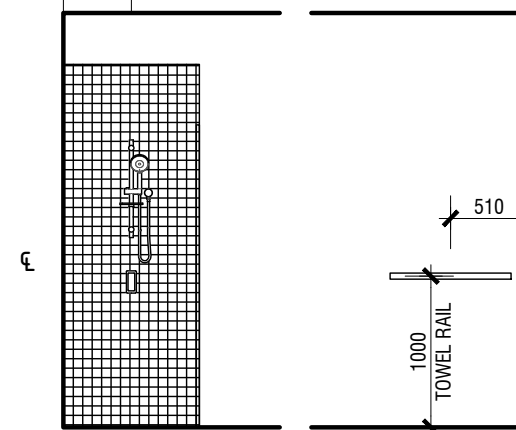
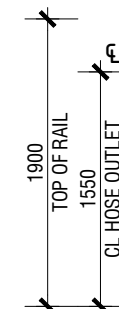
ENSUITE A



ENSUITE B



ENSUITE C

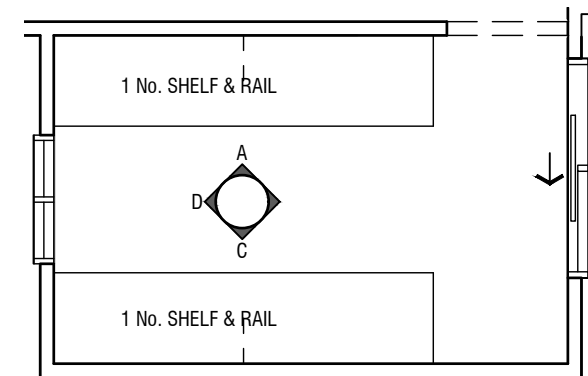


ENSUITE D

NOTE:
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ALL CUPBOARD DIMENSIONS TO BE SITE MEASURED

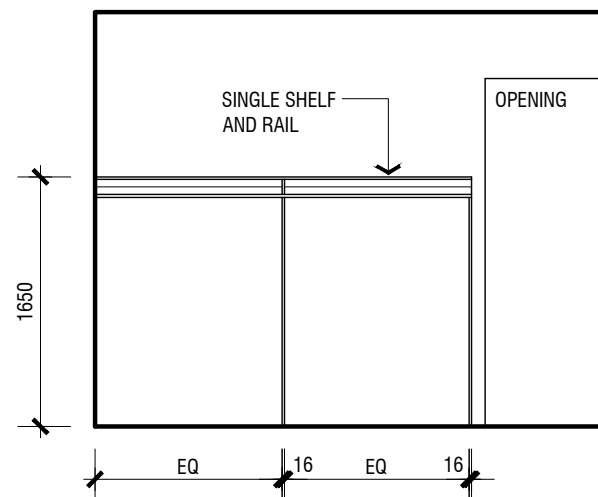
ENSUITE

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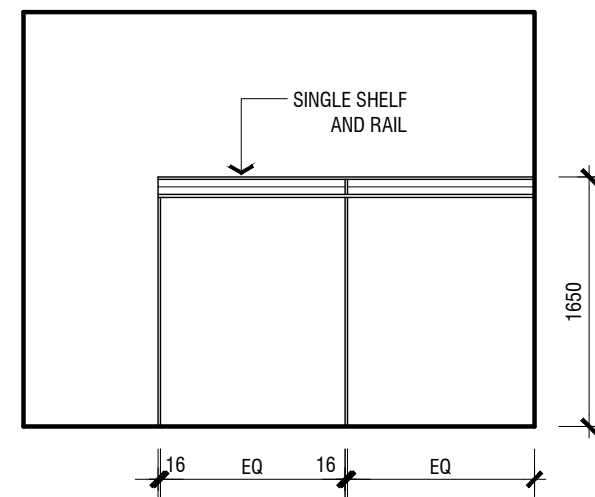


WIR (MASTER SUITE)

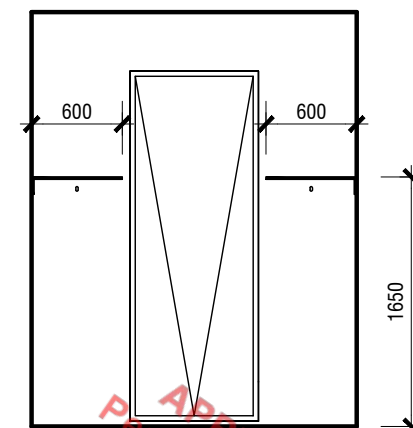
SCALE: 1:50



MASTER WIR A



MASTER WIR C



MASTER WIR D

CONTRACT DRAWINGS

NO FURTHER CHANGES WILL BE ACCEPTED

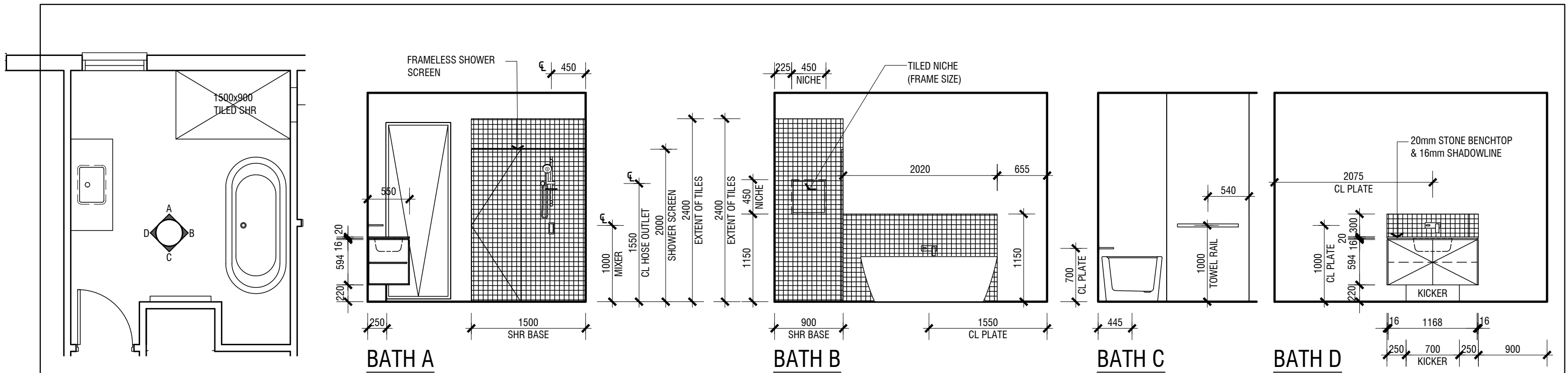
TENDER No: SD00037616
DRAFTSPERSON: DR
DATE: 03/12/2019

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House type:	MILAN 29 MK2	Clients Signature / Date	Job No:	11714	Revision No.:	By:	Date:	Clients:	Sheet:
Facade:	CUSTOM	Clients Signature / Date	Drawn:	DR	PRELIM	DR	24/09/2019	CHENGZUO ZHEN & WEI WANG	13 of 14
Drawing title:	INTERNALS	Builders Signature / Date	Checked:	PV	DRP & F/BOARD UPD.	PV	02/10/2019	Proposed Residence At:	Scale @A3:
			Issue:	CONTRACT	CONTRACT	DR	28/11/2019	LOT 451, No.13	1:50
			Date:	12.08.2021	PTV#38021/38316	PV	03/12/2019	POWELL PLACE,	
					PTV#39037	PV	24/01/2020	PAKENHAM, VIC. 3810	
					PTV#51943	PV	27/07/2021		
					DJM RFI	PV	12/08/2021		



BATH
SCALE: 1:50

NOTE:
1. ALL INTERNAL SETOUT DIMENSIONS ARE FROM PLASTER.
2. INTERNAL ELEVATIONS ARE INDICATIVE ONLY.
ALL CUPBOARD DIMENSIONS TO BE SITE MEASURED

CONTRACT DRAWINGS

NO FURTHER CHANGES WILL BE ACCEPTED

TENDER No:

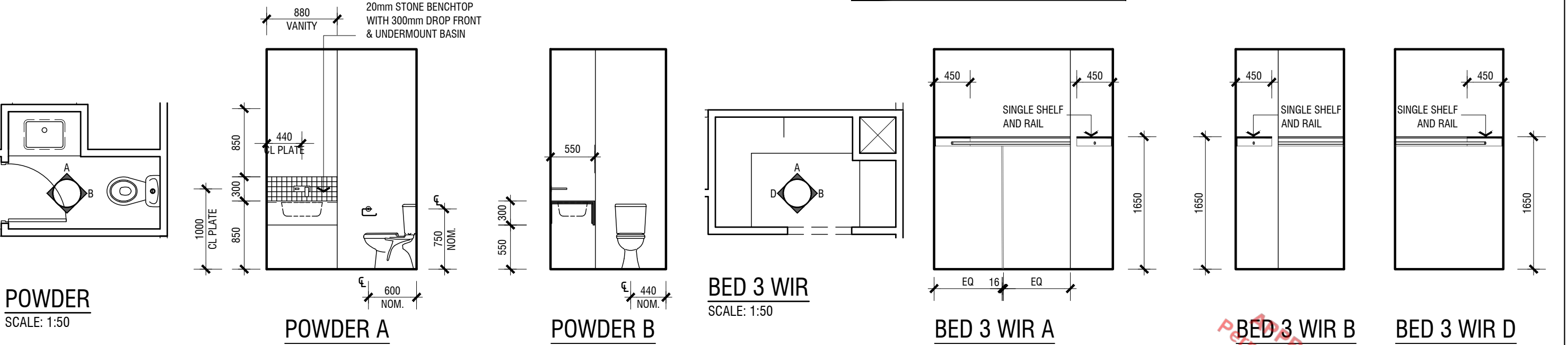
SD00037616

DRAFTSPERSON:

DR

DATE:

03/12/2019



POWDER
SCALE: 1:50

POWDER A

POWDER B

BED 3 WIR
SCALE: 1:50

BED 3 WIR A

BED 3 WIR B

BED 3 WIR D

APPROVED PERMIT
Permit No 8699485664325
Permit Date 17/09/2021

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		Drawing title:	INTERNALS	Builders Signature / Date	Checked:	PV	DRP & F/BOARD UPD.	PV	02/10/2019		
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					Date:	12.08.2021	PTV#38021/38316	PV	03/12/2019	LOT 451, No.13 POWELL PLACE, PAKENHAM, VIC. 3810	